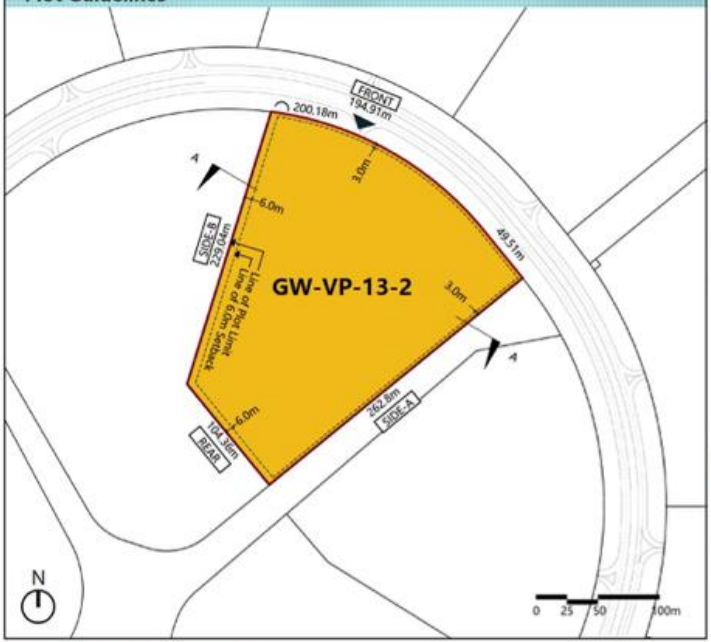
GREEN WOOD

Plot Guidelines



Plot Data

Plot Data			
Plot NO.	GW-VP-13-2	Plot Area	SQ.M
			44,565.57
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	114

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	25,402.37
GFA Split	Residential	100.0%	25,402.37

Parking Controls	
Parking Rates	As per DM Standards

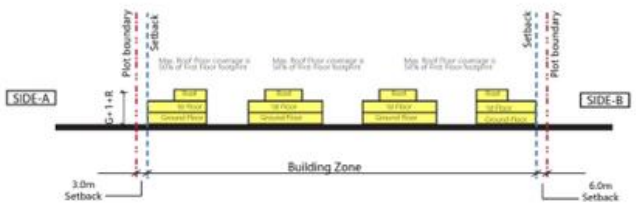
Building Setbacks (m)	
FRONT	3.0
REAR	6.0
SIDE-A	3.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	4,953 KW
Potable Water	178 Cu.m/ day
Sewerage	166 Cu.m/ day
Irrigation	27 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
93	63	69

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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7. Each super plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly. If there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

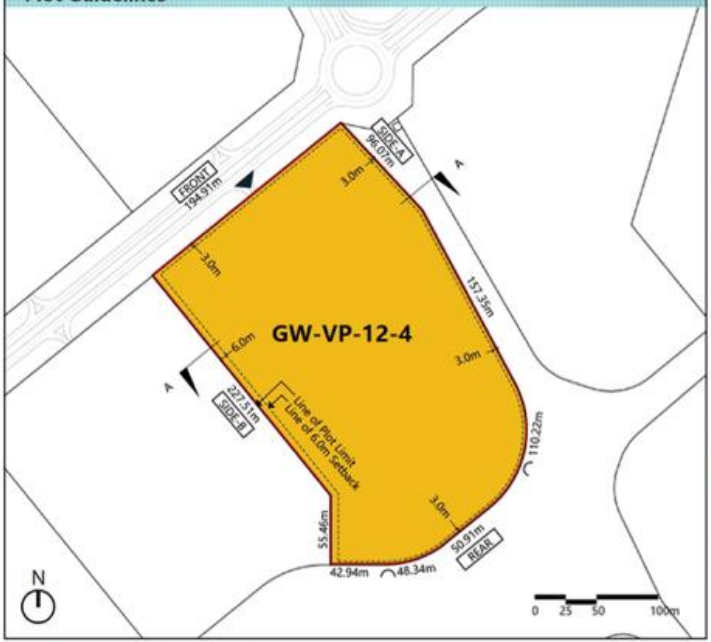
GW-VP-13-2

Rev: 07.2
Date: Apr-2023

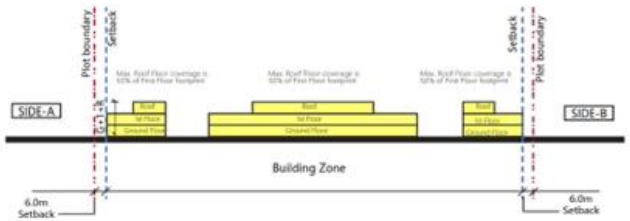
GREEN WOOD

NAKHEEL

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-12-4	Plot Area	SQ.M
			58,732.16
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	152

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	33,477.33
GFA Split	Residential	100.0%	33,477.33

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	3.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	6,528 KW
Potable Water	237 Cu.m/ day
Sewerage	221 Cu.m/ day
Irrigation	21 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Trip Generation

A.M peek	LT peek	PM peek
124	84	92

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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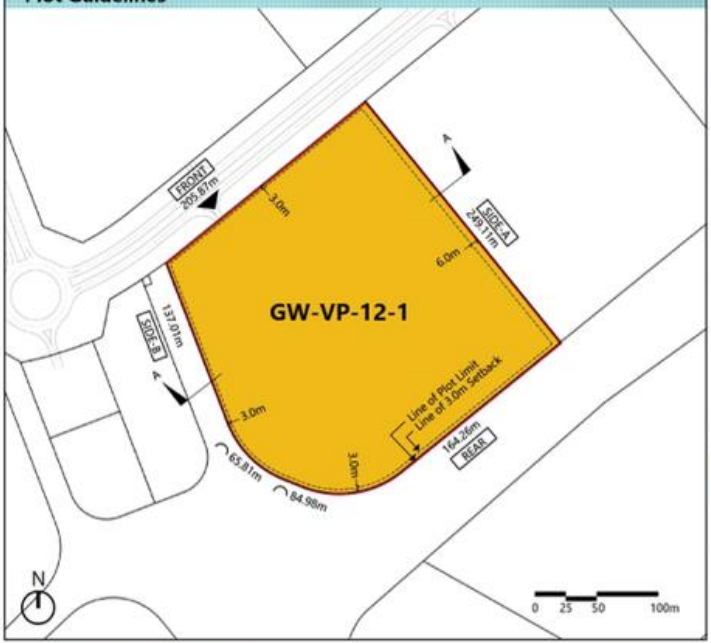
7. Each super plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly. If there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GW-VP-12-4

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data			
Plot NO.	GW-VP-12-1	Plot Area	SQ.M
			57,608.96
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	150

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	32,837.11
GFA Split	Residential	100.0%	32,837.11

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	3.0

Maximum Utility Demand*

Electrical (TCL)	6,403 KW
Potable Water	234 Cu.m/ day
Sewerage	218 Cu.m/ day
Irrigation	29 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Key Plan

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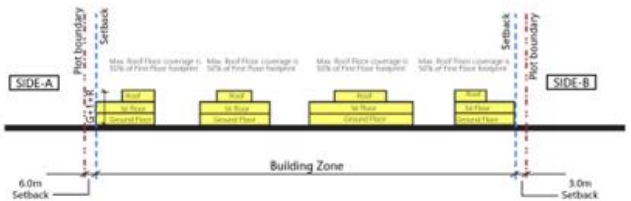
Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
123	83	91

Legend

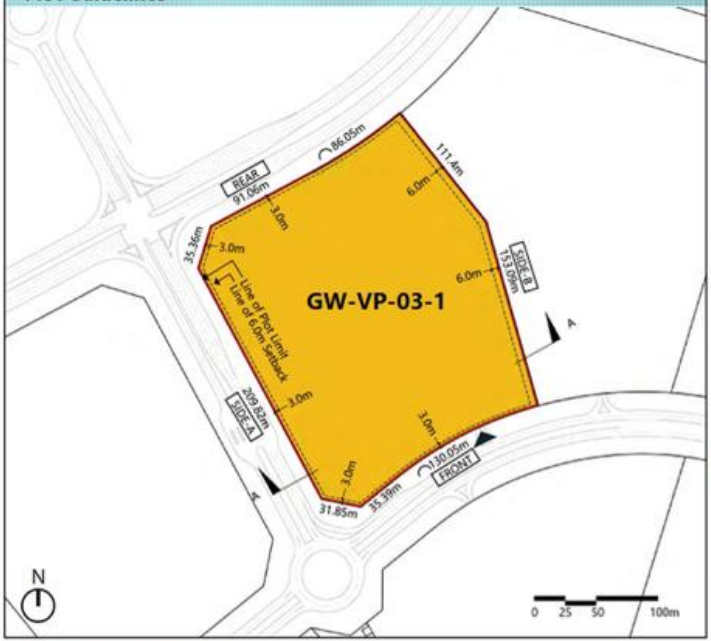
- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

GW-VP-12-1

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-03-1	Plot Area	SQM
			51,201.46
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	132

GFA Breakdown

Maximum Total GFA		%	SQM
		100.0%	29,184.83
GFA Split	Residential	100.0%	29,184.83

Parking Controls	
Parking Rates	As per DM Standards

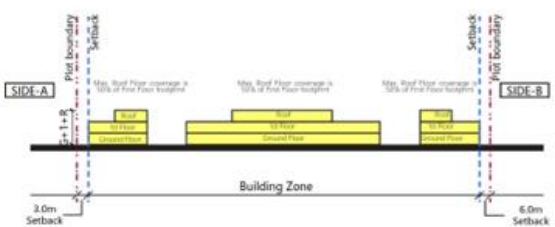
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	3.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	5,691 KW
Potable Water	206 Cu.m/ day
Sewerage	192 Cu.m/ day
Irrigation	21 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
108	73	80

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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GW-VP-03-1

Rev: 07.2
Date: Apr-2023

GREEN WOOD

NAKHEEL

Plot Guidelines

Plot Data

Plot Data			
Plot NO.	GW-VP-02-3	Plot Area	SQ.M 64,695.54
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	168

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	36,876.46
GFA Split	Residential	100.0%	36,876.46

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	7,191 KW
Potable Water	262 Cu.m/ day
Sewerage	245 Cu.m/ day
Irrigation	32 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Key Plan

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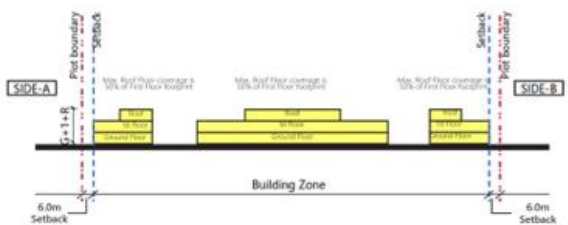


Trip Generation

A.M peek	LT peek	PM peek
137	93	102

Legend

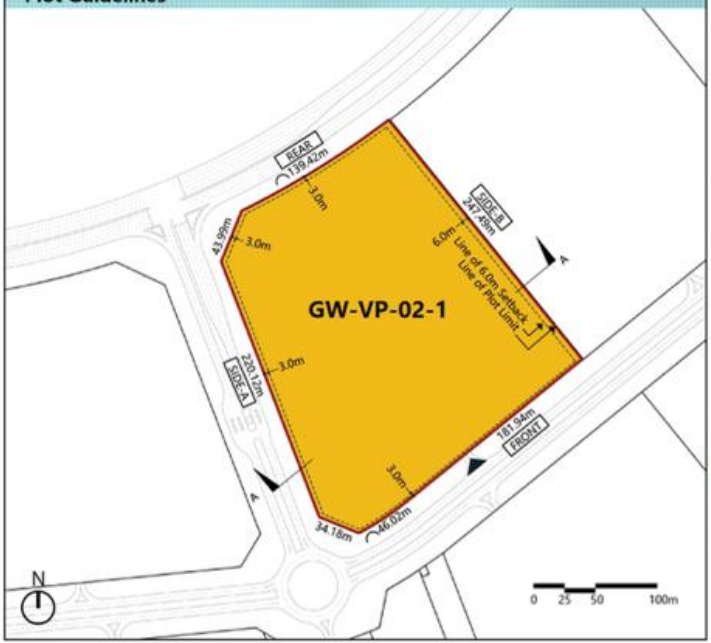
- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

GW-VP-02-3

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data			
Plot NO.	GW-VP-02-1	Plot Area	SQ.M
			53,885.15
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	140

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	30,714.54
GFA Split	Residential	100.0%	30,714.54

Parking Controls	
Parking Rates	As per DM Standards

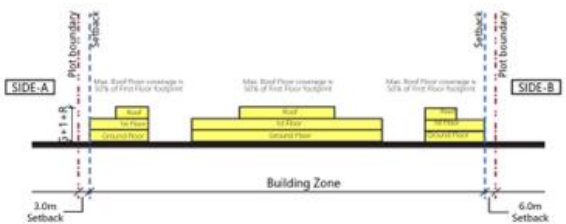
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	3.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	5,989 KW
Potable Water	218 Cu.m/ day
Sewerage	204 Cu.m/ day
Irrigation	20 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
114	78	85

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
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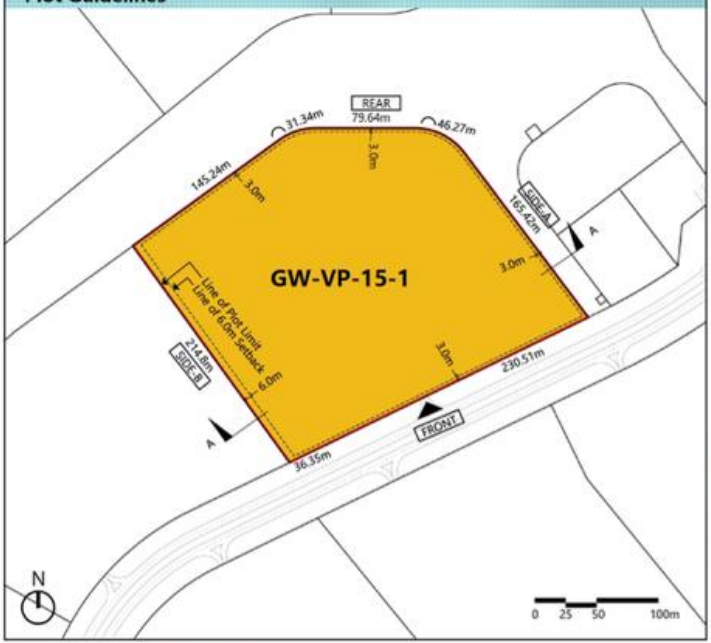
7. Each super plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly. If there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GW-VP-02-1

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data			
Plot NO.	GW-VP-15-1	Plot Area	SQ.M
			58,375.75
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	152

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	33,274.18
GFA Split	Residential	100.0%	33,274.18

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	3.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	6,488 KW
Potable Water	237 Cu.m/ day
Sewerage	221 Cu.m/ day
Irrigation	28 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Key Plan

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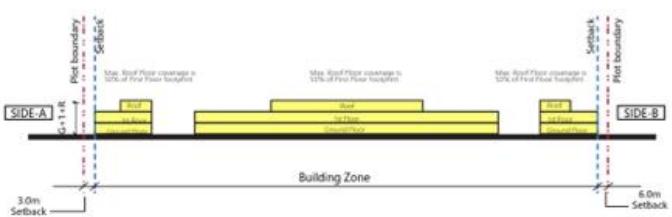
Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
124	84	92

Legend

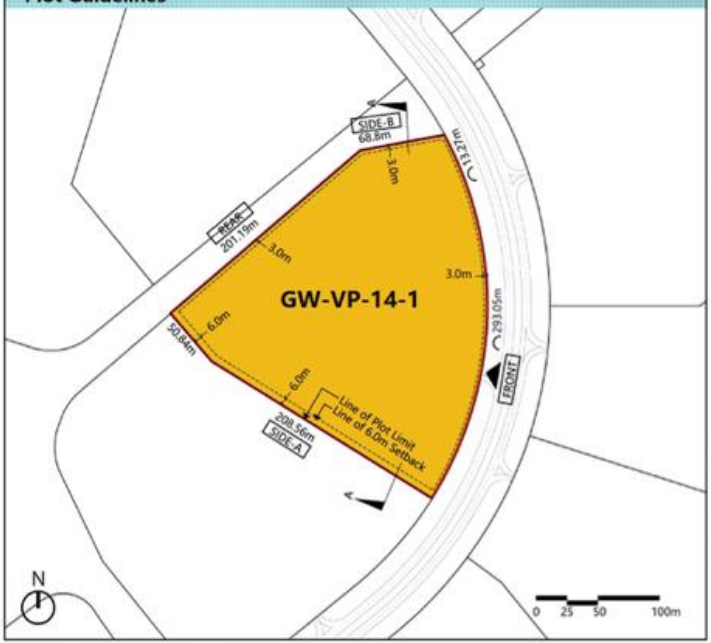
- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

GW-VP-15-1

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data			
Plot NO.	GW-VP-14-1	Plot Area	SQ.M 44,347.31
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	114

GFA Breakdown			
Maximum Total GFA	%	SQ.M	
	100.0%	25,277.97	
GFA Split	Residential	100.0%	25,277.97

Parking Controls	
Parking Rates	As per DM Standards

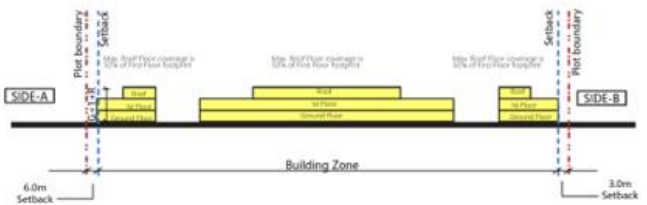
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	3.0

Maximum Utility Demand*

Electrical (TCL)	4,929 KW
Potable Water	178 Cu.m/ day
Sewerage	166 Cu.m/ day
Irrigation	19 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
93	63	69

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

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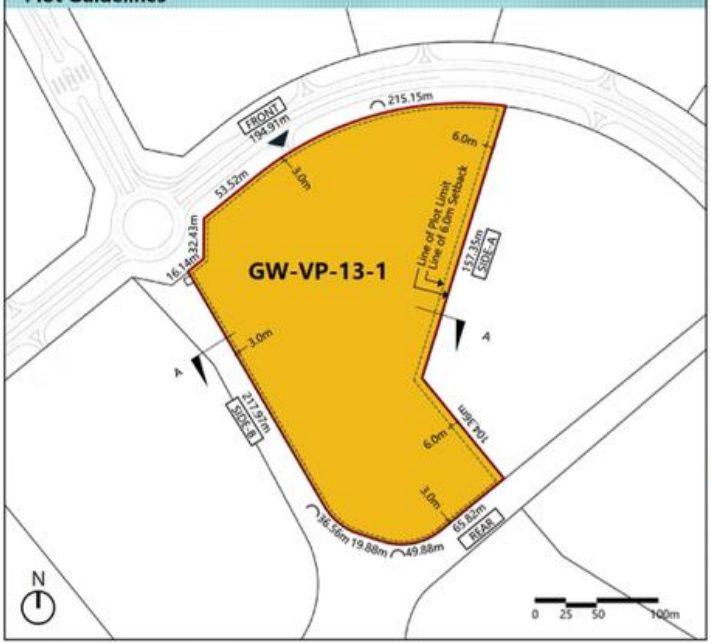
GW-VP-14-1

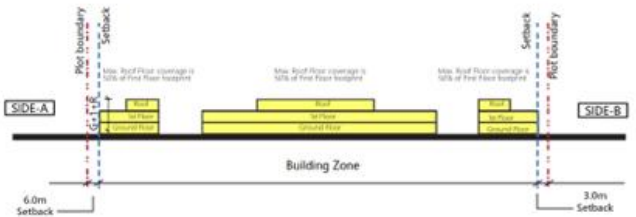
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-13-1	Plot Area	SQ.M 56,486.86
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	146

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	32,197.51
GFA Split	Residential	100.0%	32,197.51

Parking Controls

Parking Rates	As per DM Standards

Building Setbacks (m)

FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	3.0

Maximum Utility Demand*

Electrical (TCL)	6,279 KW
Potable Water	228 Cu.m/ day
Sewerage	213 Cu.m/ day
Irrigation	42 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Trip Generation

A.M peek	LT peek	PM peek
119	81	88

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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GW-VP-13-1

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines

Plot Data

Plot Data

Plot NO.	GW-VP-12-3	Plot Area	SQ.M
			47,577.60
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	124

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	27,119.23
GFA Split	Residential	100.0%	27,119.23

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	5,288 KW
Potable Water	193 Cu.m/ day
Sewerage	181 Cu.m/ day
Irrigation	16 Cu.m/ day

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Key Plan

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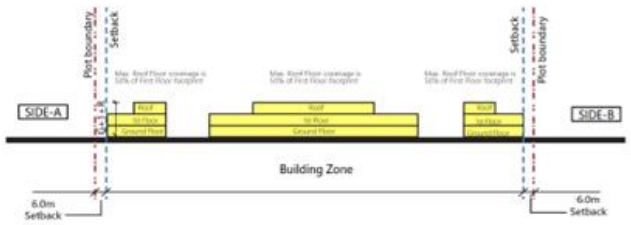
Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
101	69	75

Legend

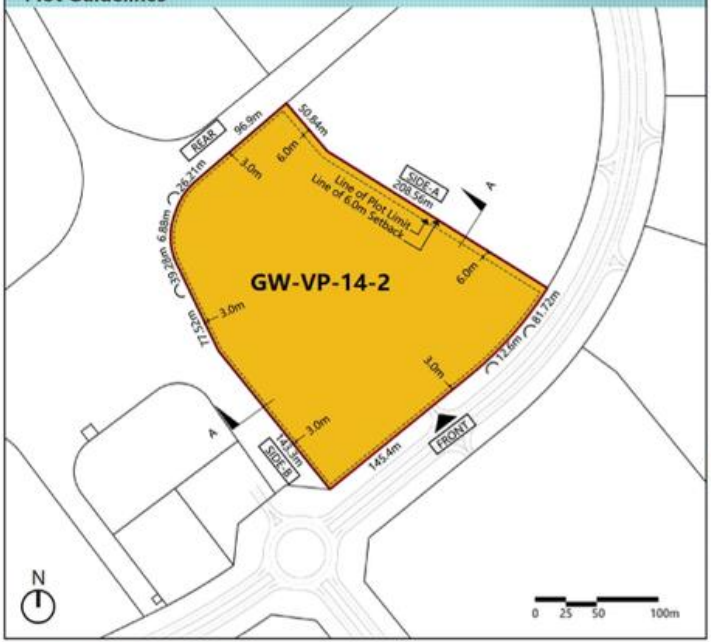
- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

GW-VP-12-3

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-14-2	Plot Area	SQ.M 49,519.68
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	130

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	28,226.22
GFA Split	Residential	100.0%	28,226.22

Parking Controls	
Parking Rates	As per DM Standards

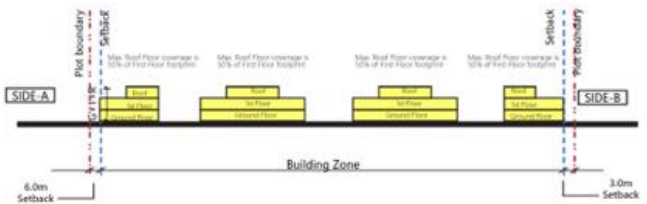
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	3.0

Maximum Utility Demand*

Electrical (TCL)	5,504 KW
Potable Water	203 Cu.m/ day
Sewerage	189 Cu.m/ day
Irrigation	30 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
106	72	79

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

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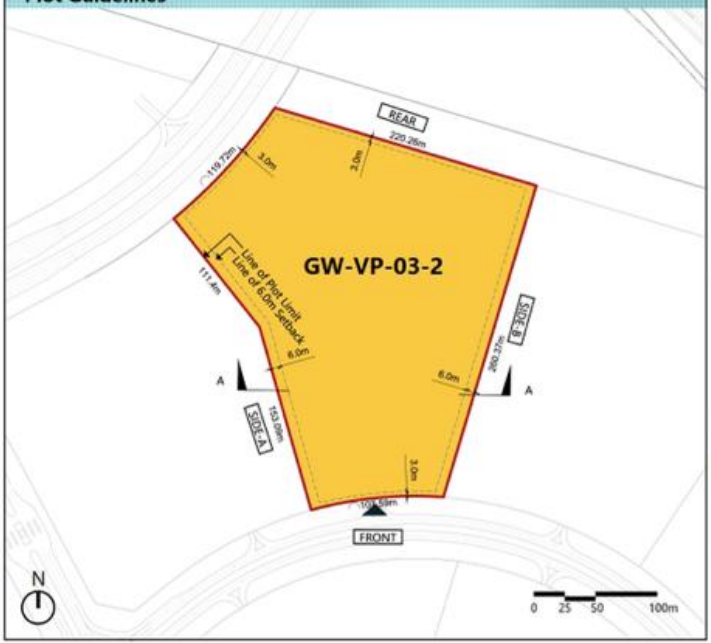
GW-VP-14-2

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-03-2	Plot Area	SQ.M
			56,427.54
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	146

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	32,163.70
GFA Split	Residential	100.0%	32,163.70

Parking Controls

Parking Rates	As per DM Standards

Building Setbacks (m)

FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	6,272 KW
Potable Water	228 Cu.m/ day
Sewerage	213 Cu.m/ day
Irrigation	30 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

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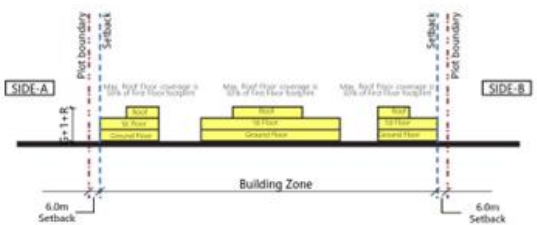
Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
121	82	90

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

GW-VP-03-2

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines

Plot Data

Plot Data			
Plot NO.	GW-VP-02-4	Plot Area	SQ.M
			61,807.16
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	160

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	35,230.08
GFA Split	Residential	100.0%	35,230.08

Parking Controls	
Parking Rates	As per DM Standards

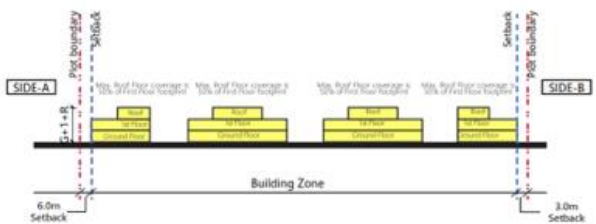
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	3.0

Maximum Utility Demand*

Electrical (TCL)	6,870 KW
Potable Water	250 Cu.m/ day
Sewerage	233 Cu.m/ day
Irrigation	32 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
131	89	97

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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GW-VP-02-4

Rev: 07.2
Date: Apr-2023

GREEN WOOD

NAKHEEL

Plot Guidelines

Plot Data

Plot Data			
Plot NO.	GW-VP-02-2	Plot Area	SQ.M
			54,618.45
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	140

GFA Breakdown			
Maximum Total GFA		%	SQ.M
		100.0%	31,132.52
GFA Split	Residential	100.0%	31,132.52

Parking Controls	
Parking Rates	As per DM Standards

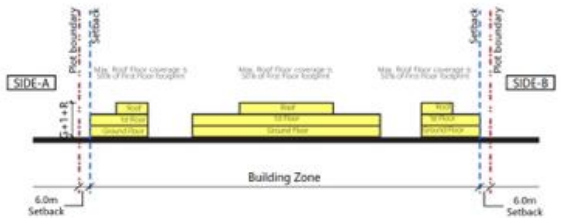
Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	6,071 KW
Potable Water	218 Cu.m/ day
Sewerage	204 Cu.m/ day
Irrigation	19 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
114	78	85

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan

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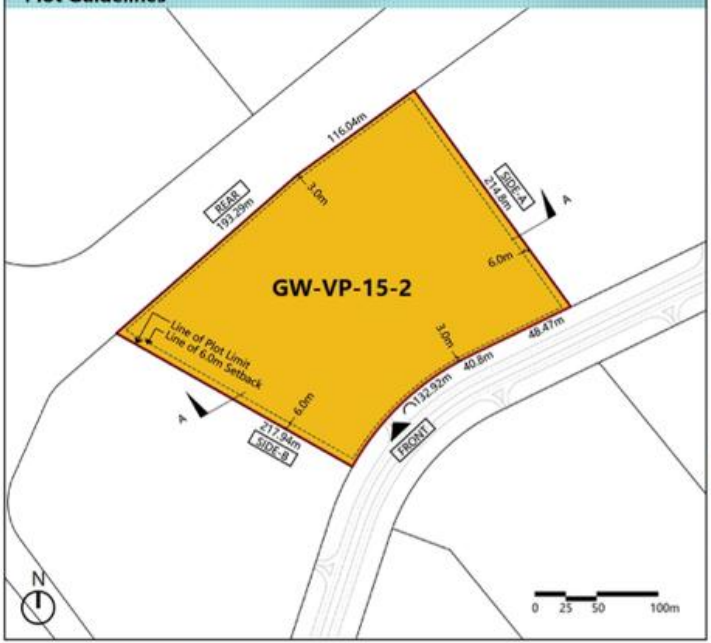
GW-VP-02-2

Rev: 07.2
Date: Apr-2023

GREEN WOOD

NAKHEEL

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-15-2	Plot Area	SQ.M
			53,179.15
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	138

GFA Breakdown

Maximum Total GFA		%	SQ.M
		100.0%	30,312.12
GFA Split	Residential	100.0%	30,312.12

Parking Controls

Parking Rates	As per DM Standards

Building Setbacks (m)

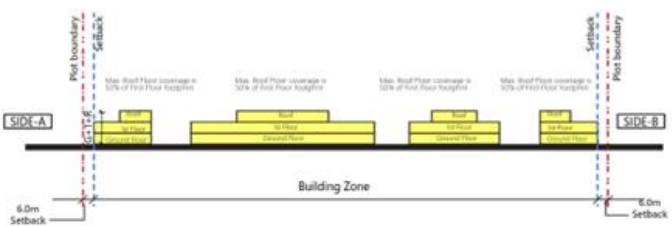
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	5,911 KW
Potable Water	215 Cu.m/ day
Sewerage	201 Cu.m/ day
Irrigation	20 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Section A-A (Indicative)



Trip Generation

A.M peek	LT peek	PM peek
113	77	84

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
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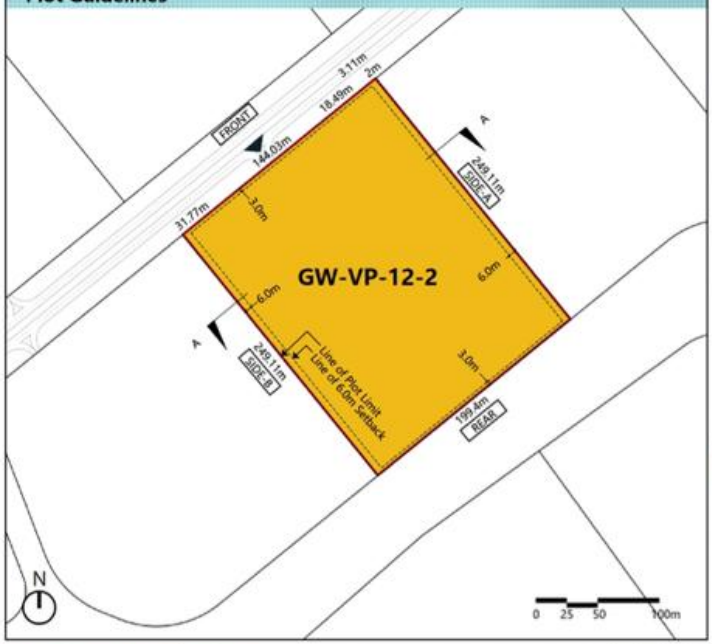
GW-VP-15-2

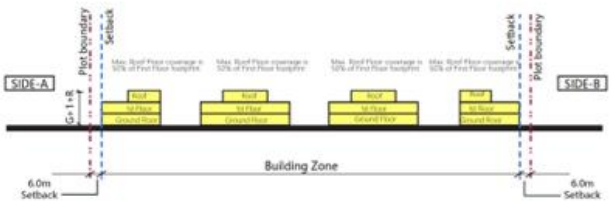
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data			
Plot NO.	GW-VP-12-2	Plot Area	SQ.M
			49,672.61
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	130

GFA Breakdown			
Maximum Total GFA	%	SQ.M	
	100.0%	28,313.39	
GFA Split	Residential	100.0%	28,313.39

Parking Controls	
Parking Rates	As per DM Standards

Building Setbacks (m)	
FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Maximum Utility Demand*

Electrical (TCL)	5,521 KW
Potable Water	203 Cu.m/ day
Sewerage	189 Cu.m/ day
Irrigation	22 Cu.m/ day

* Utility demand mentioned in the above table are based on the latest land-use plan and subject to the authorities approval

Trip Generation

A.M peek	LT peek	PM peek
106	72	79

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- RESIDENTIAL
- SECTION LINE
- VEHICLE ACCESS
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GW-VP-12-2

Rev: 07.2
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