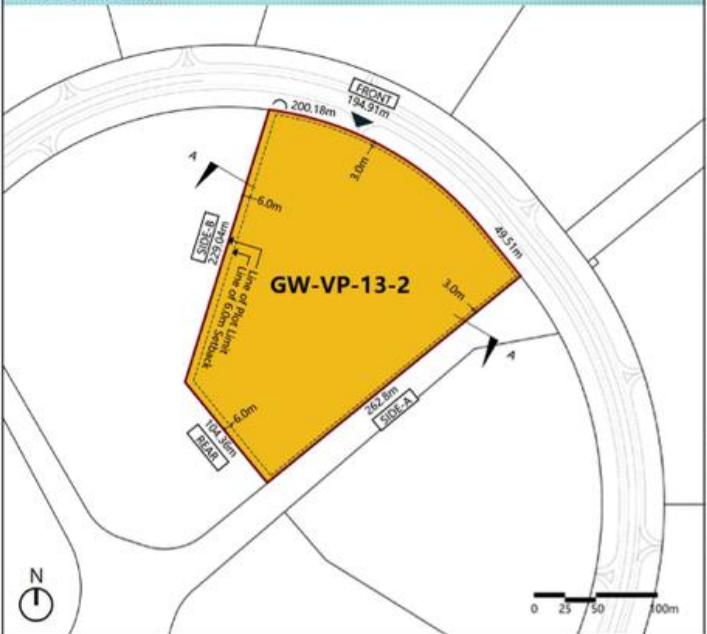
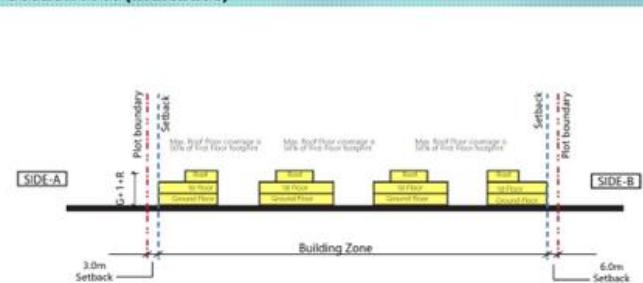


GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-13-2	Plot Area	SQM
			44,565.57
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
		G+1+Roof (Max. Height - 16m)	
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	114

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	25,402.37
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 6.0
		SIDE-A 3.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	4,953 KW
Potable Water	178 Cu.m/ day
Sewerage	166 Cu.m/ day
Irrigation	27 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
93	63	69

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- RESIDENTIAL
- ▲ SECTION LINE
- ▲ VEHICLE ACCESS
- MASSING VIEW ANGLE

Key Plan



Disclaimer

Guidelines:

- Provided drawings and sketches within this document are for illustration purposes only.
- All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to change.
- Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
- It is the developer's responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any changes in the design shall be submitted to the concerned authority in writing in order to get the required approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- Max. height of first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Max. permissible area is calculated by multiplying the total plot area by the FAR.
- Max. permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the floor areas of unenclosed verandahs and terraces.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas, 3-GFA of unenclosed verandahs and terraces, 4-plant equipment and service areas on roof and 5-Telecom installations.
- Plot boundary wall and its foundation shall be constructed and maintained.
- Plot boundary wall and its foundation shall be accommodated within the allocated plot limits.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision:

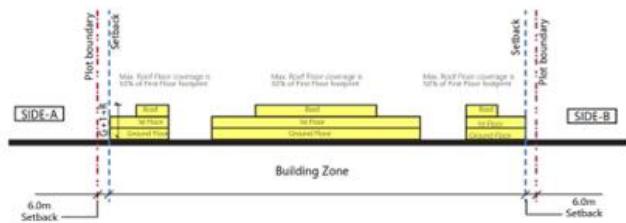
- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, park conditions and connections between internal plot levels and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot as shown on proposed plot layout with a minimum plot width shall be entitled to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/11KV substation; the plot shall be connected to the 132/11KV substation via 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the terms and conditions of the plot.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-12-4	Plot Area	SQ.M
Land Use		Max. Floors Allowed	
Residential (Villas/Town Houses)		Massing Control	G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	152

GFA Breakdown

Maximum Total GFA	%	SQ.M
100.0%		33,477.33
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 3.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	6,528 KW
Potable Water	237 Cu.m/ day
Sewerage	221 Cu.m/ day
Irrigation	21 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



Disclaimer

- 1. Provided drawings and sketches within this document are for illustration purposes only.
- 2. All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to change.
- 3. Unless otherwise stated elsewhere, master developer design control regulation is taking precedence over other guidelines.
- 4. It is the responsibility of the developer to the right to revise design control information from time to time as deemed necessary.
- 5. It is the owner's responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the developer side.
- 6. All dimensions are in meters (M) unless otherwise specified in the drawing.
- 7. The provided number of units are fixed. The unit to be used for a single family only.
- 8. The max. number of townhouses allowed in one block are B units.
- 9. The first floor height is 3.0m and the second floor is allowed to have a max. of 50% of first floor coverage.
- 10. "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- 11. Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- 12. Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned porches, and half of the roof areas of all enclosed verandahs and terraces.
- 13. The maximum permissible area exclude:
 - 1. car parking and vehicular circulation, 2. all utilities required by authorities and service providers, 3. all structural elements required for the building such as columns, beams, and trusses, 4. underground unconnected utility networks might be utilized or removed by plot owner.
- 14. Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
- 15. The boundary wall and it's foundation must be strictly constructed and constructed within the GFA limit.

Infrastructure Provision:

- 1. Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- 2. All utility services shall be connected to the plot and shall be connected to the main connection scheme and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- 3. The provider of access to the plot shall be given access as shown on proposed plot layout with a minimum perimeter drift distance to master developer approval.
- 4. Boundary wall design shall follow design control guidelines.
- 5. The electrical load is reserved within the respective 12/24 KV substation; the plot shall be connected to the 12/24 KV substation via 11KV cables laying works from the 132/13KV substation to the pocket substation.
- 6. All related DEWA estimates to the plot would be borne by the plot owner, as per the terms and conditions of the plot.
- 7. Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Trip Generation

A.M peak	LT peak	PM peak
124	84	92

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS
- RESIDENTIAL

GW-VP-12-4

Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-12-1	Plot Area	SQM
			57,608.96
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	150

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	32,837.11
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT: 3.0
		REAR: 3.0
		SIDE-A: 6.0
		SIDE-B: 3.0

Maximum Utility Demand*

Electrical (TCL)	6,403 KW
Potable Water	234 Cu.m/ day
Sewerage	218 Cu.m/ day
Irrigation	29 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



Disclaimer

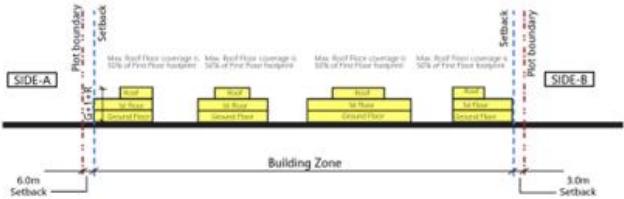
Guidelines:

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- Unless otherwise stated else, master developer design regulation is taking precedence on other guidelines.
- Master developer reserves the right to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any deviation from the provided design shall be subject to the concerned authority's order and decision.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- FRONT: 3.0m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters stated in accordance with the Dubai Building Code issued by the concerned authority and the Development Committee, subject to the case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the floor areas of the verandas and terraces.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - area under the roof deck, including unenclosed verandas and balconies.
 - plant equipment and service areas on roof and 3-Telecom installations.
- Underground parking spaces (if required by authorities) shall be accommodated within the allocated plot lands.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the strict limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot access shall be provided to the plot through ROW and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provided plot access shall be as shown on proposed plot layout with a minimum plot access width of 3.0m.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/11KV substation; the plot developer shall provide the required 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)



Trip Generation

A.M peak	LT peak	PM peak
123	83	91

Legend

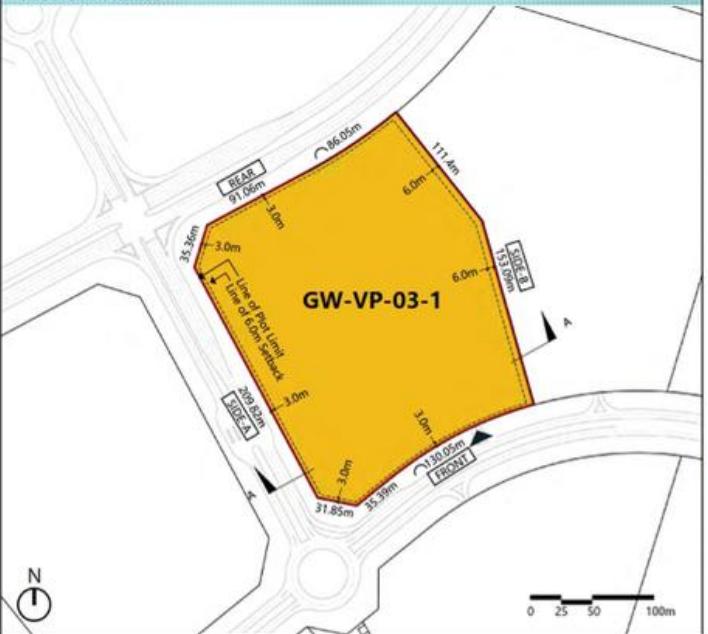
- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- RESIDENTIAL
- ▲ SECTION LINE
- ▲ VEHICLE ACCESS

GW-VP-12-1

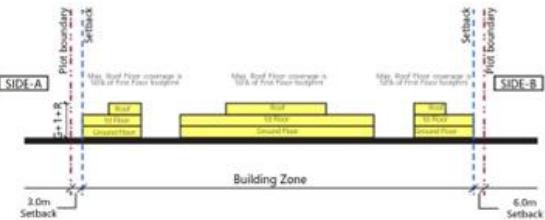
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-03-1	Plot Area	SQ.M
			51,201.46
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	132

GFA Breakdown

Maximum Total GFA	%	SQ.M
	100.0%	29,184.83
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 3.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	5,691 KW
Potable Water	206 Cu.m/ day
Sewerage	192 Cu.m/ day
Irrigation	21 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



Disclaimer

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- Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
- It is the responsibility of the developer to update the plot design in accordance with time to time as deemed necessary.
- It is the owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the developer side.
- Any deviation from the provided drawing shall be subject to the concerned authority's order and subsequent approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- FRONT and REAR height is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- MAXIMUM PERMISSIBLE AREA IS CALCULATED BY MULTIPLYING THE TOTAL PLOT AREA BY THE FAR.
- MAXIMUM PERMISSIBLE AREA IS DEFINED AS ALL HORIZONTAL FLOOR AREAS OF THE BUILDING MEASURED FROM THE EXTERIOR SURFACES OF THE OUTSIDE WALLS, EXCEPTED AIR-CONDITIONED PORCHES AND HALLS, EXCEPTED AIR-CONDITIONED ROOFS, EXCEPTED ROOF TERRACES AND BALCONIES.
- THE MAXIMUM PERMISSIBLE AREA EXCLUDES:
 - CAR PARKING AND VEHICULAR CIRCULATION, 2 ALI UTILITIES REQUIRED BY AUTHORITIES AND SANITARY CLOSET, 1ST FLOOR STAIRS, 1ST FLOOR ROOF TOPS, 1ST FLOOR ROOF TERRACES, 1ST FLOOR ROOF ENCLOSURES, TENACIES AND BALCONIES, 1ST FLOOR EQUIPMENT AND SERVICE AREAS ON ROOF AND 1ST FLOOR INSTALLATIONS.
- THE MAXIMUM PERMISSIBLE AREA FOR PLANT SUBSTATION (IF REQUIRED BY AUTHORITIES) SHALL BE ACCOMMODATED WITHIN THE ALLOWED PLOT LIMITS.
- UNDERGROUND UNCONNECTED UTILITY NETWORKS MIGHT BE UTILIZED OR REMOVED BY PLOT OWNER.
- SUBDIVISIONS ARE NOT ALLOWED AND AMalgamation will be subject to Master Developer's approval.
- THE BOUNDARY WALL AND IT'S FOUNDATION MUST BE TIGHTLY CONSTRUCTED AND CONSTRUCTED WITHIN THE PLOT LIMITS.

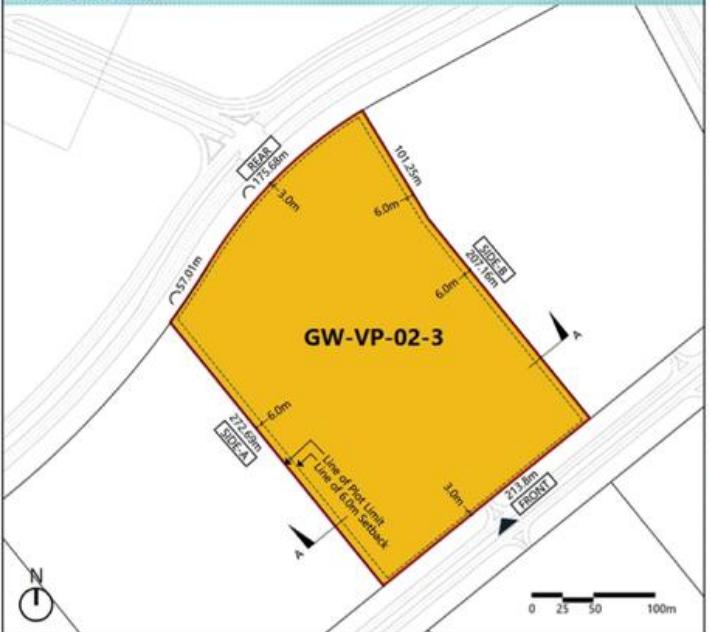
Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- External connections shall be provided by the developer and connection and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot as shown on proposed plot layout with a minimum open space, shall be subject to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/11KV substation; the plot shall be connected to the 132/11KV substation via 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

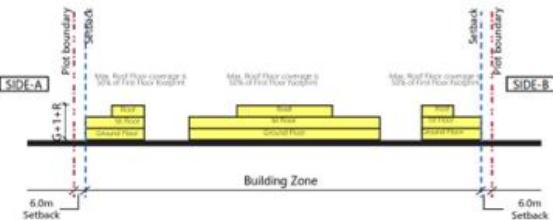
GW-VP-03-1

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-02-3	Plot Area	SQM
Land Use		Residential (Villas/Town Houses)	Max. Floors Allowed
		Massing Control	G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	168

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	36,876.46
GFA Split	Residential	36,876.46

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	7,191 KW
Potable Water	262 Cu.m/ day
Sewerage	245 Cu.m/ day
Irrigation	32 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



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- The developer reserves the right to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any deviation from the applicable laws, codes, regulations or order issued by concerned authorities and the Development Control Regulation will be subject to the plot owner's responsibility.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are 8 units.
- Frontage height is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters stated in accordance with the Dubai Building Code issued by the concerned authority and the Development Control Regulation. In case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the floor areas of unenclosed verandahs and terraces.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - area under the plot boundary (if required by authorities) shall be accommodated within the allocated plot limits.
 - underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot owner shall be responsible for the maintenance and connection between internal plot design and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot shall be given priority over other plots.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/138V substation; the plot owner shall be responsible for the 132/138V cables laying works from the 132/138V substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the terms and conditions of the plot.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Trip Generation

A.M peak	LT peak	PM peak
137	93	102

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS
- RESIDENTIAL

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-02-1	Plot Area	SQ.M
			53,885.15
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	140

GFA Breakdown

Maximum Total GFA	%	SQ.M
	100.0%	30,714.54
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 3.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	5,989 KW
Potable Water	218 Cu.m/ day
Sewerage	204 Cu.m/ day
Irrigation	20 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



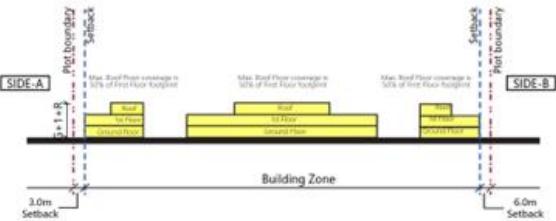
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- 3. Unless otherwise stated elsewhere, master developer design control regulation is taking precedence over other guidelines.
- 4. The developer shall have the right to revise design control information from time to time as deemed necessary.
- 5. It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- 6. The developer reserves the right to withdraw or modify any design control approvals.
- 7. The provided number of units are fixed. The unit to be used for a single family only.
- 8. The max. number of townhouses allowed in one block are 8 units.
- 9. The max. height of first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- 10. "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation. In case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- 11. Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- 12. Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned porches and verandas, and service areas.
- 13. The maximum permissible area exclude:
 - 1. car parking and vehicular circulation, 2. all utilities required by authorities and services including water, electricity, gas, telephone, sewage, drainage, etc.
 - 2. all structures which are not part of the plot boundary.
 - 3. underground structures, such as foundations, pipes, cables, etc.
 - 4. all structures which require separate calculation (if required by authorities) shall be accommodated within the allocated plot limits.
- 14. Underground unconnected utility networks might be utilized or removed by plot owner.
- 15. Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
- 16. The boundary wall and it's foundation must be strictly constructed and constructed within the strict limits.

Infrastructure Provision

- 1. Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- 2. The developer shall provide all required infrastructure connections and connections between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- 3. The provided site access is limited to a single point of entry and exit as shown on proposed plot layout with a minimum perimeter drift distance to master developer approval.
- 4. Boundary wall design shall follow design control guidelines.
- 5. The electrical load is reserved within the respective 132/138 substation; the plot developer shall not connect to the 132/138 substation. All related DEWA estimates to the plot would be borne by the plot owner, as per DEWA's terms and conditions.
- 6. Earth paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly. If there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)



Trip Generation

A.M peak	LT peak	PM peak
114	78	85

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ▲ VEHICLE ACCESS
- RESIDENTIAL

GREEN WOOD**Plot Guidelines****Plot Data****Plot Data**

Plot NO.	GW-VP-15-1	Plot Area	SQM
			58,375.75
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
		G+1+Roof (Max. Height - 16m)	
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	152

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	33,274.18
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 3.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	6,488 KW
Potable Water	237 Cu.m/ day
Sewerage	221 Cu.m/ day
Irrigation	28 Cu.m/ day

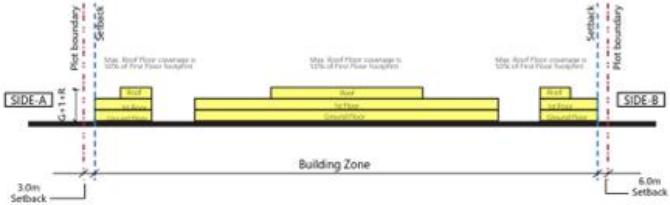
*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan**Disclaimer**

- Guidelines:
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 - Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
 - It is the responsibility of the plot owner to revise design control information from time to time as deemed necessary.
 - It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
 - Any deviation from the plot design shall be subject to the concerned authority's order and approval.
 - The provided number of units are fixed. The unit to be used for a single family only.
 - The max. number of townhouses allowed in plot are B units.
 - For residential plots, the first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
 - "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistencies between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
 - Maximum permissible area is calculated by multiplying the total plot area by the FAR.
 - Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned porches and verandas, and terraces and balconies.
 - The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service installations.
 - Underground structures, such as water tanks, gas cylinders, underground interconnected tenancies and balconies.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
 - The boundary wall and it's foundation must be strictly constructed and constructed within the strict plot limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, parks and green areas shall be provided in accordance with the connection and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park boundaries.
- The provided plot access is limited to the plot boundary as shown on proposed plot layout with a minimum plot access width of 3.0m to be determined by master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/11kv substation; the plot developer shall not connect to the 132/11kv cables laying within the 132/11kv substation to the pocket substation.
- All related DEMA estimates to the plot would be borne by the plot owner, as per the DEMA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)**Trip Generation**

A.M peak	LT peak	PM peak
124	84	92

Legend

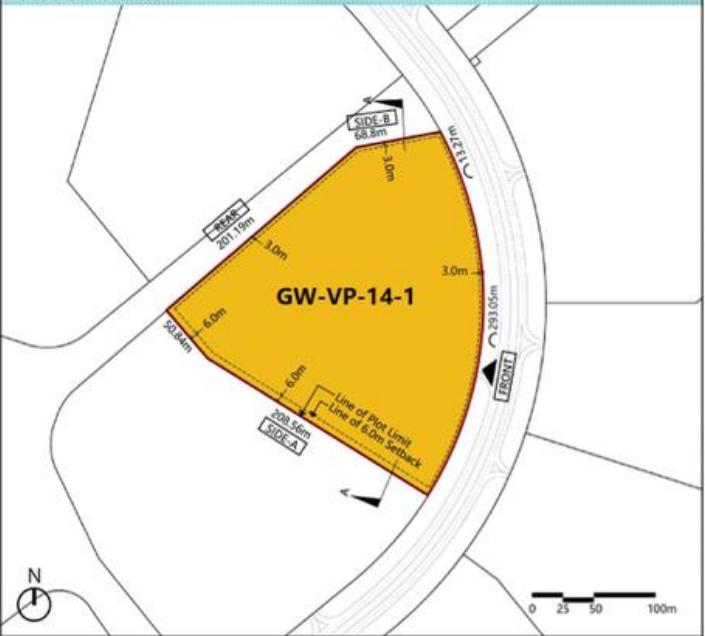
- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS
- RESIDENTIAL

GW-VP-15-1

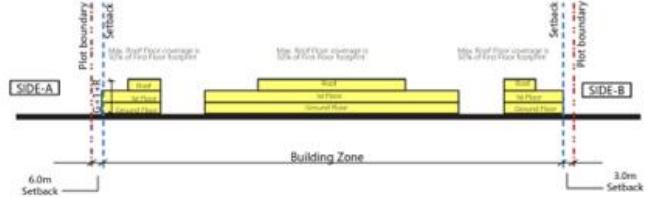
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot No.	GW-VP-14-1	Plot Area	SQM
			44,347.31
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	114

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	25,277.97
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 3.0

Maximum Utility Demand*

Electrical (TCL)	4,929 KW
Potable Water	178 Cu.m/ day
Sewerage	166 Cu.m/ day
Irrigation	19 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
93	63	69

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS
- RESIDENTIAL

Key Plan



Disclaimer

Guidelines

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- All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to revision.
- Unless otherwise stated elsewhere, master developer design control regulation is taking precedence on other guidelines.
- It is the responsibility of the plot owner to review design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any changes in the design shall be submitted to the concerned authority in writing in order to obtain the required approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- Line of Plot Limit is 6.0m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters stated in accordance with the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal floor areas of the building measured within the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the roof area.
- The maximum permissible area exclude:

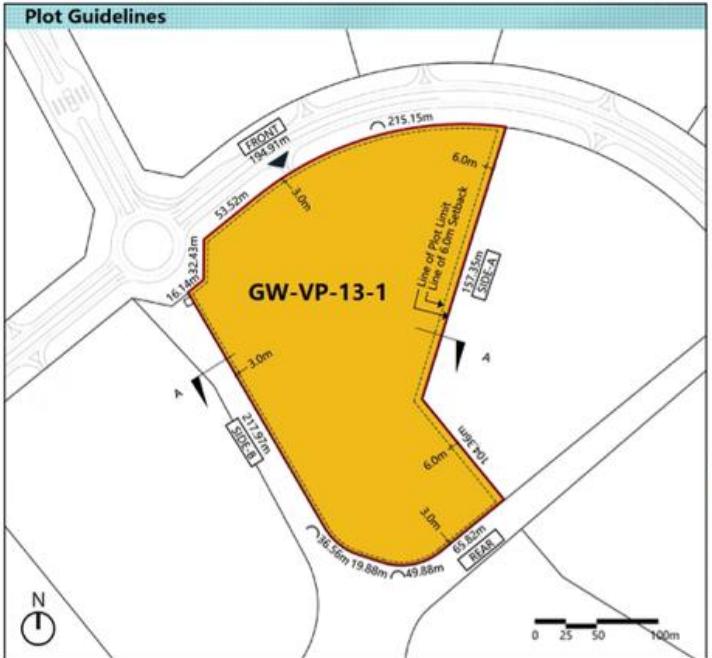
 - Car parking and vehicular circulation, 2-car utility required by authorities and service areas.
 - Swimming pool, water feature, fountain, water feature, fountains, water feature, fountains and balconies.
 - All related plant equipment and service areas on roof and 3-storey installations.
 - Underground parking spaces (If required by authorities) shall be accommodated within the allocated plot limits.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
 - The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, green areas, walkways, paths, roads, drainage, water supply and connections between internal plots and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot shall be given a copy of the proposed plot layout with a minimum period of thirty days prior to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/11KV substation; the plot shall be connected to the 132/11KV substation via 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEMA estimates to the plot would be borne by the plot owner, as per the DEMA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot No.	GW-VP-13-1	Plot Area	SQM
			56,486.86
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
		G+1+Roof (Max. Height - 16m)	
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	146

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	32,197.51
GFA Split	Residential	100.0% 32,197.51

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 3.0

Maximum Utility Demand*

Electrical (TCL)	6,279 KW
Potable Water	228 Cu.m/ day
Sewerage	213 Cu.m/ day
Irrigation	42 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



Disclaimer

Guidelines:

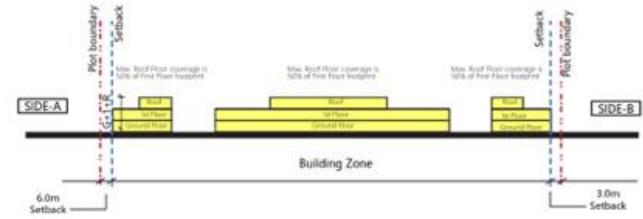
- Provided drawings and sketches within this document are for illustration purposes only.
- All dimensions, coordinates and massing intent as shown are approximate, not scaled.
- Final dimensions and locations will be determined by the relevant authority.
- Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
- It is the responsibility of the developer to take the right to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any deviation from the proposed design shall be subject to the concerned authority's order and subsequent approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in the plot are B units.
- FRONT building height is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- MAXIMUM PERMISSIBLE AREA: - Maximum permissible area is calculated by multiplying the total plot area by the FAR. - Maximum permissible area is defined as all horizontal free floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the roof areas.
- The maximum permissible area exclude:

 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas, 3-internal walls, 4-enclosed verandas, 5-enclosed terraces and balconies, 6-plant equipment and service areas on roof and 7-telecom installations.
 - MAXIMUM ROOF FLOOR COVERAGE: (If required by authorities) shall be accommodated within the allocated plot limits.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
 - The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot owner shall provide access to the plot and shall ensure connection and connection between internal plot access and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of utility access shall be liable for any damage to the plot layout with a minimum period of thirty days from the date of master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/11kv substation; the plot owner shall be responsible for connecting the 11kv cables laying works from the 132/11kv substation to the pocket substation.
- All related DEMA estimates to the plot would be borne by the plot owner, as per the DEMA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)



Trip Generation

A.M peak	L.T peak	P.M peak
119	81	88

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS
- MASSING

GW-VP-13-1

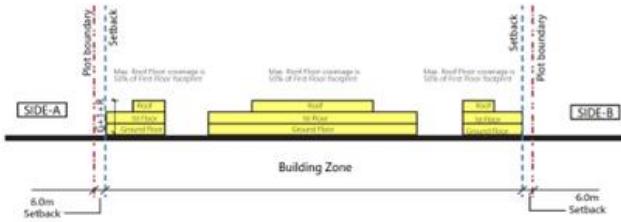
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-12-3	Plot Area	SQ.M
Land Use		Residential (Villas/Town Houses)	Max. Floors Allowed G+1+Roof (Max. Height - 16m)
		Massing Control	Max. Allowable Plot Coverage 60%
			Max. Number of Units 124

GFA Breakdown

Maximum Total GFA	%	SQ.M
	100.0%	27,119.23
GFA Split	Residential	100.0% 27,119.23

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	5.288 KW
Potable Water	193 Cu.m/ day
Sewerage	181 Cu.m/ day
Irrigation	16 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
101	69	75

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ▲ VEHICLE ACCESS
- RESIDENTIAL

Key Plan



Disclaimer

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- It is the responsibility of the developer to update the design in accordance with the latest Building Code and Development Control Regulation in force.
- It is the ultimate responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the developer side.
- Any deviation from the Building Code or Development Control Regulation must be approved by the concerned authority and the Development Control Committee before proceeding.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- Max. height of first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Committee. In case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the roof area.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas, 3-all structural elements, 4-all external structures, 5-all external enclosures, terraces and balconies, 6-all plant equipment and service areas on roof and 7-telecom installations.
- Plot boundary wall and its foundation shall be constructed within the allocated plot limits.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot boundary wall and its foundation must be strictly constructed and connected between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park boundaries.
- The provided plot access is limited to the plot as shown on proposed plot layout with a minimum plot access drift to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/11KV substation; the plot owner shall be responsible for connecting the 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the DEWA charges.
- Each super plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-14-2	Plot Area	SQM
			49,519.68
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
		G+1+Roof (Max. Height - 16m)	
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	130

GFA Breakdown

Maximum Total GFA	%	SQM
100.0%		28,226.22
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 3.0

Maximum Utility Demand*

Electrical (TCL)	5,504 KW
Potable Water	203 Cu.m/ day
Sewerage	189 Cu.m/ day
Irrigation	30 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Key Plan



Disclaimer

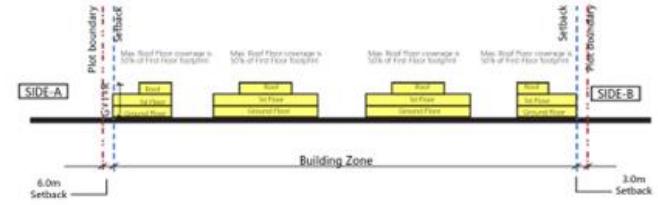
Guidelines

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- Master developer reserves the right to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Unless otherwise stated else, master developer is not liable for any third party approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are B units.
- For residential plots, the first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Committee to avoid the case of discrepancy, contradiction or inconsistencies between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the roof area, including balconies and terraces.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas, 3-all structural areas, 4-all external areas, 5-all unenclosed verandas and balconies, 6-all plant equipment and service areas on roof and 7-Telecom installations.
- Plot boundary wall and its foundation shall be constructed and maintained within the allocated plot limits.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, parks and green areas shall be provided in accordance and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park boundaries.
- The provided plot access is limited to a single point as shown on proposed plot layout with a minimum perimeter drift distance to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/11KV substation; the plot owner shall be responsible for connecting the 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the terms and conditions of the plot agreement.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)



Trip Generation

A.M peak	LT peak	PM peak
106	72	79

Legend

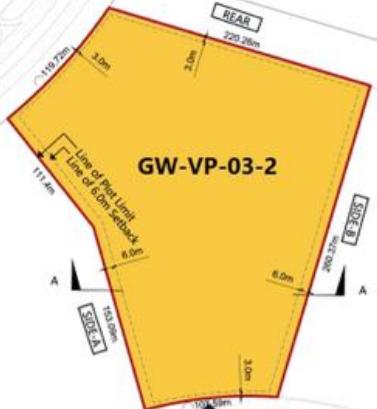
- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ VEHICLE ACCESS
- RESIDENTIAL

GW-VP-14-2

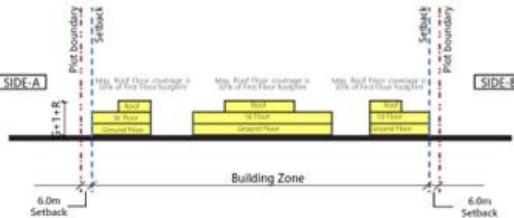
Rev: 07.2
Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-03-2	Plot Area	SQ.M
Land Use			56,427.54
Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed	G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	146

GFA Breakdown

Maximum Total GFA	%	SQ.M
	100.0%	32,163.70
GFA Split	Residential	32,163.70

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	6,272 KW
Potable Water	228 Cu.m/ day
Sewerage	213 Cu.m/ day
Irrigation	30 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
121	82	90

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- RESIDENTIAL

- SECTION LINE
- ▲ VEHICLE ACCESS
- POCKET SUBSTATION

Key Plan



Disclaimer

Guidelines

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- Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
- It is the developer's responsibility to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the developer side.
- The developer shall be responsible for all permits and approvals in order to obtain the final authority.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in one block are 8 units.
- 6.0m height limit for the first floor and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- MAXIMUM PERMISSIBLE AREA:
 - Maximum permissible area is calculated by multiplying the total plot area by the FAR.
 - Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the floor areas of unenclosed verandahs and terraces.
 - The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-4 utilities required by authorities and service areas.
 - area under the plot boundary (if required by authorities) shall be accommodated within the allocated plot limits.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's approval.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision

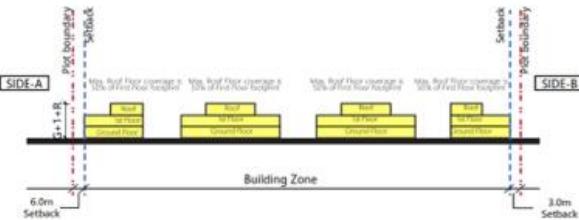
- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, parks and green areas shall be provided in accordance with the connection and infrastructure requirements.
- The provided plot access is limited to the plot as shown on provided plot layout with a minimum plot access width to be determined by master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/132KV substation; the plot shall be connected to the 132KV substation via 11KV cables laying works from the 132/132KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot No.	GW-VP-02-4	Plot Area	SQ.M
Land Use		Max. Floors Allowed	
Residential (Villas/Town Houses)		Massing Control	G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	160

GFA Breakdown

Maximum Total GFA	%	SQ.M
100.0%		35,230.08
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 3.0

Maximum Utility Demand*

Electrical (TCL)	6,870 KW
Potable Water	250 Cu.m/ day
Sewerage	233 Cu.m/ day
Irrigation	32 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
131	89	97

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- RESIDENTIAL
- SECTION LINE
- ▲ VEHICLE ACCESS

Key Plan



Disclaimer

Guidelines

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- Unless otherwise stated else, master developer design control regulation is taking precedence on other guidelines.
- It is the developer's responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
- Any changes in the design shall be submitted to the concerned authority in writing in order to get the required approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in the plot are 8 units.
- Max. height of the first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Maximum permissible area is calculated by multiplying the total plot area by the FAR.
- Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned rooms and half of the roof area.
- The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - all GFA areas including all external areas such as balconies, terraces, verandas, porches, sunrooms, loggias, covered walkways, unenclosed verandas and balconies.
 - car park equipment and service areas on roof and 3-Telecom installations.
- Subsidies for parking calculation (if required by authorities) shall be accommodated within the allocated plot limits.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the GFA.

Infrastructure Provision

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space areas, green areas, water bodies, roads, paths, walkways, and connections between internal plots and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot shall be as shown on proposed plot layout with a minimum 6m width.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/11KV substation; the plot owner shall provide the required 132/11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot shall be borne by the plot owner, as per the DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Plot Data

Plot Data

Plot NO.	GW-VP-02-2	Plot Area	SQM
			54,618.45
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	140

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	31,132.52
GFA Split	Residential	100.0% 31,132.52

Parking Controls

Parking Rates	As per DM Standards
	FRONT 3.0
	REAR 3.0
	SIDE-A 6.0
	SIDE-B 6.0

Building Setbacks (m)

FRONT	3.0
REAR	3.0
SIDE-A	6.0
SIDE-B	6.0

Key Plan



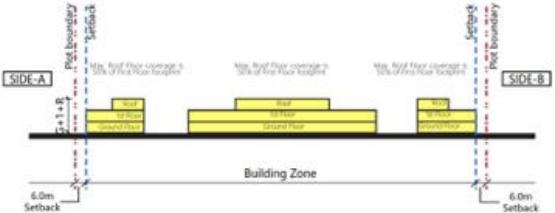
Disclaimer

- Guidelines:
- Provided drawings and sketches within this document are for illustration purposes only.
 - All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to change.
 - Unless otherwise stated elsewhere, master developer design control regulation is taking precedence over other guidelines.
 - The developer shall be responsible for the right to revise design control information from time to time as deemed necessary.
 - It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer side.
 - DM standards shall be followed in order to get the required approvals.
 - The provided number of units are fixed. The unit to be used for a single family only.
 - The max. number of townhouses allowed in one block are B units.
 - FRONT height is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
 - "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Committee in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
 - DFA is calculated as follows:
 - Maximum permissible area is calculated by multiplying the total plot area by the DFA.
 - Maximum permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned areas and half of the roof areas of the building's verandahs and terraces.
 - The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - internal wall thicknesses, internal partitions, external wall thicknesses, verandahs and balconies.
 - all related plot equipment and service areas on roof and 3-Telecom installations.
 - Plot boundary wall height (if required by authorities) shall be accommodated within the allocated plot limits.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
 - The boundary wall and it's foundation must be strictly constructed and constructed within the limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot access shall be provided to the plot through the main road and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park conditions.
- The provider of access to the plot shall be given a copy of the proposed plot layout with a minimum open space.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 12/20 KV substation; the plot developer shall provide the required cables laying works from the 12/20 KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

Section A-A (Indicative)



Trip Generation

A.M peak	LT peak	PM peak
114	78	85

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- SETBACK LINE
- MASSING VIEW ANGLE
- SECTION LINE
- VEHICLE ACCESS
- RESIDENTIAL

GW-VP-02-2

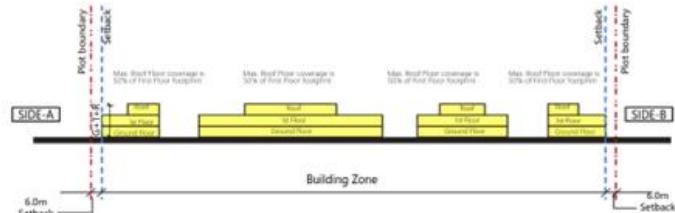
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Date: Apr-2023

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-15-2	Plot Area	SQ.M
		53,179.15	
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
		G+1+Roof (Max. Height - 16m)	
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	138

GFA Breakdown

Maximum Total GFA	%	SQ.M
100.0%		30,312.12
GFA Split	Residential	100.0%

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	5.911 KW
Potable Water	215 Cu.m/ day
Sewerage	201 Cu.m/ day
Irrigation	20 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
113	77	84

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- ▲ SECTION LINE
- ▲ VEHICLE ACCESS
- RESIDENTIAL

Key Plan



Disclaimer

Guidelines

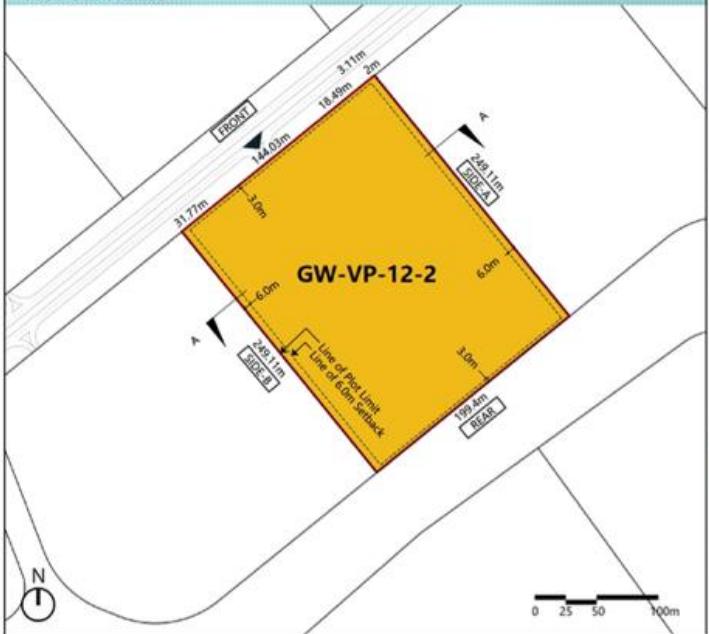
- Provided drawings and sketches within this document are for illustration purposes only.
- All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to change.
- Unless otherwise stated else, master developer control regulation is taking precedence on other guidelines.
- It is the responsibility of the developer to refer to the right to revise design control information from time to time as deemed necessary.
- It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the developer side.
- Proposed design shall be submitted to DDC for review and order of necessary approvals.
- The provided number of units are fixed. The unit to be used for a single family only.
- The max. number of townhouses allowed in plot are 8 units.
- Max. height of first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
- "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation, in case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
- Max. permissible area is calculated by multiplying the total plot area by the FAR.
- Max. permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned verandas and balconies, 2nd plant equipment and service areas on roof and 3rd plant installations.
- The maximum permissible area exclude:
 - Car parking and vehicular circulation, 2nd utilities required by authorities and service areas.
 - Underground car park, underground car park substation, 2nd plant equipment and service areas on roof and 3rd plant installations.
- Underground car park substation (if required by authorities) shall be accommodated within the allocated plot limits.
- Underground unconnected utility networks might be utilized or removed by plot owner.
- Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
- The boundary wall and it's foundation must be strictly constructed and constructed within the plot limits.

Infrastructure Provision

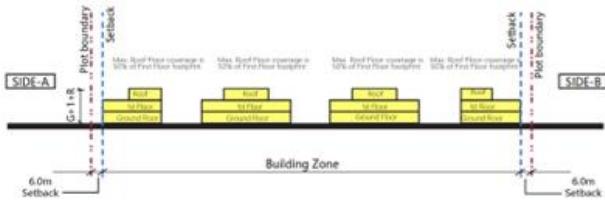
- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Open space, parks and green areas shall be provided as per the Master Developer's provision and connection between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park boundaries.
- The provided plot access is indicated as shown on provided plot layout with a minimum plot width of 6.0m.
- Boundary wall design shall follow design control guidelines.
- The electrical load is reserved within the respective 132/132 kV substation; the plot shall be connected to the 132/132 kV substation via 11KV cables laying works from the 132/132 kV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GREEN WOOD

Plot Guidelines



Section A-A (Indicative)



Plot Data

Plot Data

Plot NO.	GW-VP-12-2	Plot Area	SQM
			49,672.61
Land Use	Residential (Villas/Town Houses)	Massing Control	Max. Floors Allowed
			G+1+Roof (Max. Height - 16m)
		Max. Allowable Plot Coverage	60%
		Max. Number of Units	130

GFA Breakdown

Maximum Total GFA	%	SQM
	100.0%	28,313.39
GFA Split	Residential	28,313.39

Parking Controls

Parking Rates	As per DM Standards	Building Setbacks (m)
		FRONT 3.0
		REAR 3.0
		SIDE-A 6.0
		SIDE-B 6.0

Maximum Utility Demand*

Electrical (TCL)	5,521 KW
Potable Water	203 Cu.m/ day
Sewerage	189 Cu.m/ day
Irrigation	22 Cu.m/ day

*Utility demand mentioned in the above table are based on the latest land use plan and subject to the authorities approval

Trip Generation

A.M peak	L.T peak	P.M peak
106	72	79

Legend

- PROJECT BOUNDARY
- PLOT BOUNDARY
- - - SETBACK LINE
- MASSING VIEW ANGLE
- RESIDENTIAL
- ▲ SECTION LINE
- ◆ VEHICLE ACCESS

Key Plan



Disclaimer

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 - All dimensions, coordinates and massing intent as shown are approximate, not scaled and are subject to change.
 - Unless otherwise stated elsewhere, master developer/district regulation is taking precedence over other guidelines.
 - It is the responsibility of the plot owner to revise design control information from time to time as deemed necessary.
 - It is the plot owner responsibility to secure all governmental regulatory authorities on proposed design without any liability towards the master developer.
 - Any changes in the design or layout shall be submitted to the concerned authority for re-approval.
 - The provided number of units are fixed. The unit to be used for a single family only.
 - The max. number of townhouses allowed in one block are B units.
 - Max. height of first floor is 15m and the second floor is allowed to have a max. of 50% of first floor coverage.
 - "GFA" means the maximum allowable gross floor area on the plot specified in the parameters indicated according to the Dubai Building Code issued by the concerned authority and the Development Control Regulation. In case of discrepancy, contradiction or inconsistency between the Dubai Building Code and the Development Control Regulation, the latter shall prevail.
 - DFA is calculated as follows:
 - Maximun permissible area is calculated by multiplying the total plot area by the FAR.
 - Maximun permissible area is defined as all horizontal floor areas of the building measured from the exterior surfaces of the outside walls, enclosed air-conditioned areas and half of the roof area.
 - The maximum permissible area exclude:
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - car parking and vehicular circulation, 2-all utilities required by authorities and service areas.
 - tenancies and balconies.
 - all underground equipment and service areas on roof and 3-Telecom installations.
 - Subsidies for plot calculation (if required by authorities) shall be accommodated within the allocated plot limits.
 - Underground unconnected utility networks might be utilized or removed by plot owner.
 - Subdivisions are not allowed and amalgamation will be subject to Master Developer's discretion.
 - The boundary wall and it's foundation must be strictly constructed and constructed within the limits.

Infrastructure Provision:

- Developer shall not exceed the allocated utility values to the plot and shall comply with connection scheme as provided by Master Developer.
- Plot access shall be provided through the ROW and shall be connected and connected between internal plot design levels and external levels, where the plot interfaces with ROW, open spaces, or park boundaries.
- The provider of access shall be responsible for all costs as shown on proposed plot layout with a minimum payment of drift sum to master developer approval.
- Boundary wall design shall follow design control guidelines.
- The electrical load is required within the respective 132/11KV substation; the plot owner shall be responsible for all costs associated with the 11KV cables laying works from the 132/11KV substation to the pocket substation.
- All related DEWA estimates to the plot would be borne by the plot owner, as per the DEWA charges.
- Each paper plot has already been allocated an irrigation demand, so the plot developer should plan his landscape design accordingly if there is any extra landscaping needed, it should be irrigated using greywater recycling within the super plot.

GW-VP-12-2

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